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Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
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THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ojl*
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MEETING DATE: JANUARY 8, 2020

SUBJECT: DR19-174, SANTAN PAVILIONS PHASE IX

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for continuing construction of an existing mixed-use development.

REQUEST

DR19-174, SanTan Pavilions Phase IX: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.7 acres, generally located west of the southwest corner of Santan Village Parkway and Williams Field Road and zoned Regional Commercial (RC)

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Suite 6 Architecture+Planning
Name: Dean Munkachy
Address: 6111 N. Cattletrack Rd.
Scottsdale, AZ 85250
Phone: 480-348-7800
Email: dean@suite6.net

OWNER

Company: San Tan AZ, LLC
Name: David Del Zotto
Address: 5920 S. Rainbow Road Ste. 11
Las Vegas, NV 89118
Phone: 702-222-1420
Email: david@remingtonnevada.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>April 11, 2006</i>	Town Council approved the Rezoning Case No. Z05-11(Ordinance No. 1726) and Annexation Case No. A05-11 (Ordinance No. 1725).
<i>September 13, 2007</i>	Design Review Board approved DR07-80 Promenade at San Tan.
<i>November 7, 2007</i>	Design Review Board approved DR06-137A San Tan Square
<i>January 6, 2016</i>	Planning Commission denied UP15-12 Flat at Santan, a Conditional Use Permit for multi-family in a mixed-use development within Regional Commercial (RC) zoning.
<i>January 28, 2016</i>	Town Council heard appeal case AP16-01 and overturned the Planning Commissions denial of UP15-12 and approved the use permit for Multi-family in Regional Commercial (RC) zoning.
<i>February 11, 2016</i>	DR15-55 Flats was approved by the Design Review Board.
<i>October 5, 2016</i>	DR16-22 SanTan Pavilions Master Site Plan and Phase I were approved by the Design Review Board.
<i>May 3, 2017</i>	Design Review Board approved DR17-1005 SanTan Pavilions Phase II.
<i>May 17, 2017</i>	DR17-1032 SanTan Pavilions Phase III was approved administratively.
<i>January 4, 2018</i>	DR17-1164 SanTan Pavilions Phase IV Study - Sandbar Mexican Grill was approved administratively.
<i>January 18, 2018</i>	DR17-1172 SanTan Pavilions Phase V, Pad 2 & Shops J was approved administratively.
<i>August 23, 2018</i>	DR18-104 SanTan Pavilions Phase VI, Shops K was approved administratively
<i>November 12, 2018</i>	DR18-145 SanTan Pavilions Phase VII, Ashley Furniture Homestore was approved administratively.
<i>February 28, 2019</i>	DR18-212 SanTan Pavilions Phase VIII, Pad 3 was approved administratively.

Overview

The master planned SanTan Pavilions project is requesting Design Review for a 3.7 acre portion of the shopping center for Major A, Shops A and Shops B as part of Phase IX. Major A is proposed to be Urban Air, an indoor trampoline and recreation park totaling 50,000 sq. ft. Shops A is proposed as a multi-tenant building at 2,600 sq. ft. and Shops B will be a multi-tenant building totaling 6,000 sq. ft. Phase IX will include an additional 132 parking spaces, completing the parking area for the master site. This phase is at the southwest corner of the site and west of the recently built Ashley Furniture Homestore. The main drive aisles and parking lot directly north of the site were built in previous phases.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial	Regional Commercial	SanTan Pavilions Trader Joe's then Williams Field Road

South	Regional Commercial	Regional Commercial	Flats at SanTan
East	Regional Commercial	Regional Commercial	SanTan Pavilions Ashley Furniture Homestore and At Home
West	Regional Commercial	Regional Commercial	Boston Professional and Desert Industries
Site	Regional Commercial	Regional Commercial	SanTan Pavilions - vacant

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Acres	No minimum or maximum	Total - 37.38 Gross Ac. Total - 32.90 Net Ac. Phase I - 4.97 Net Ac. Phase II - 10.5 Net Ac. Phase III - 0.94 Net Ac. Phase IV - 0.44 Net Ac. Phase V - 6.33 Net Ac. Phase VI - 0.73 Net Ac. Phase VII - 1.23 Net Ac. Phase VIII - .53 Net Ac. Phase IX – 3.7 Net Ac. Total Developed to Date – 32.12 Net Ac.
Building Square Footage	No minimum or maximum	Major D - 108,535 sf Shops D - 8,000 sf Shops E - 8,160 sf Shops F - 8,130 sf Shops G - 9,730 sf Shops H - 10,000 sf Shops J - 10,800sf Pad 4 - 4,766 sf Pad 2 - 5,790 sf outdoor Pad 2 - 14,600 sf Shops K - 6,076 sf Major B - 53,737 sf Pad 3 – 5,453 sf Major A – 50,000 Shops A – 2,000 Shops B – 6,000 Total to Date – 300,745 sf
Maximum Building Height	55'	Major A - 42' 8"
Minimum Setback		
Front to ROW	25'	25'
Side to non-residential	20'	100' 5"
Rear to non-residential	20'	101' 2"

Separation Between Buildings	15' 1-story 20' multi-story	N/A
Minimum Required Perimeter Landscape Area		
Front to ROW	25'	25' Completed with Phase I
Side to non-residential	20'	20'
Rear to non-residential	20'	20'
Landscaping (% of net lot area)	15%	20.3%
Parking spaces	1:200 sf of gross building area Phases I - VIII – 1,225 Phase IX - 293 Total required to date – 1,518	Phase I - VIII – 1,413 Phase IX - 132 Total provided to date – 1,545 (27 extra parking spaces)

DISCUSSION

The applicant has requested construction documents (CD) at-risk. Staff would only support CD at-risk if the applicant is able to address all 2nd Review and Study Session comments prior to CD submittal.

Site

Phase IX consists of three buildings: Major A, Shops A and Shops B at the southwest corner of the master site plan of SanTan Pavilions. The parking lot north of the buildings was installed in previous phases. Additional parking will be provided to the west of Major A and to the south of Major A and Shops B. Major A will be a single big box user with an indoor recreation/trampoline park. Shops A will consist of a total of 2 suites and Shops B will allow for a total of 4 suites for tenants. This phase will complete the internal main drive aisles and the remaining parking spaces for the commercial center. At the time of completion of this phase, there will be 1,518 required parking spaces and 1,545 provided spaces. *Staff has no significant issues on the site plan that cannot be easily addressed.*

Landscape

The landscape design is consistent with the overall landscape palette approved with previous phases. Landscape setback requirements will be met along the perimeter (west and south) sides of the site. Landscaping makes up 28% of the site, exceeding the minimum requirement. *Staff has no significant issues that cannot be easily addressed during the 2nd Review.*

Grading and Drainage

Retention is located underground with some surface retention planned along the west and south required perimeter landscape area of the site. Grading is in keeping with previous phases. *Staff has no outstanding issues during 1st Review.*

Elevations, Floor Plan, Colors and Materials

The elevations are consistent with other buildings throughout the project Phases I-VIII. The architecture design motif sets a stage for multiple tenant identities within an organized framework of materials and forms. Though there is no strong reference to historical style, the building designs nonetheless embrace many timeless qualities that appeal to human interaction and scale. The two shop buildings have articulation along elevations that are not against adjacent buildings, utilizing all materials and colors from the master site plan approval. A shaded walkway will be provided along the store fronts, wrapping the north and east/west elevations of each shops building. Staff has worked with the applicant on addressing the articulation of Major A while keeping the big box space structure. Major A is utilizing various materials and colors popped out from the horizontal plane of the building to provide movement and articulation. The main entrance is projected 16' from the building with shade canopies flanking both sides along the building frontage. The sides and back of Major A use color blocking and pop-out projections, applying wood siding and white stucco at differing parapet heights to break up the building as the two other major users (At Home and Ashley Furniture) have done.

The chosen palette for the center features high quality neutral colors with various accents. Dark bronze window frames are consistent throughout, as is the treatment of exterior metals in dark or light grey paint colors. Natural concrete bases and pre-cast wainscot connect building walls and other features with exterior surfaces. Stucco finishes are consistent throughout in a light and medium gray range. Lastly, the use of a wood-composite material provides the palette with its major color and texture accent. The product is chosen for its color durability and weathering capabilities. *Staff is seeking feedback from the commission if Major A has sufficiently addressed articulation and movement in the building design.*

Lighting

Lighting for the project will be done with energy efficient fixtures, in conformance with Town requirements for height, light output and shielding. The proposed lights are consistent with previous phases. Phase IX lighting includes: parking lot pole lights, wall mounted emergency lights, wall sconces and can lights.

Signage

Signage is not included in this approval. Sign standards for this project are included in DR017-1026 (DR05-139H) SanTan Village Master Sign Plan – Pavilions.

PUBLIC NOTIFICATION AND INPUT

The proposed project will not require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

If after Study Session, the project has addressed all review comments and those brought forth by the Planning Commission, the project may qualify for an administrative approval.

Per LDC Section 5.602.B.m, projects that do not require public notice yet require approval by the Planning Commission/ Design Review Board may be approved administratively after the project is discussed by the Planning Commission/ Design Review Board at a Study Session and final exhibits meet review comments for code requirements.

REQUESTED INPUT

1. Overall movement and articulation of Major A.

Respectfully submitted,

Stephanie Bubenheim
Planner II

Attachments and Enclosures:

- 1) Vicinity Map
- 2) Aerial Photo
- 3) Master Site Plan
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Colors and Materials
- 8) Elevations
- 9) Floor Plans
- 10) Lighting

DR19-174 San Tan Pavilions Phase IX

Vicinity Map

SITE LOCATION:

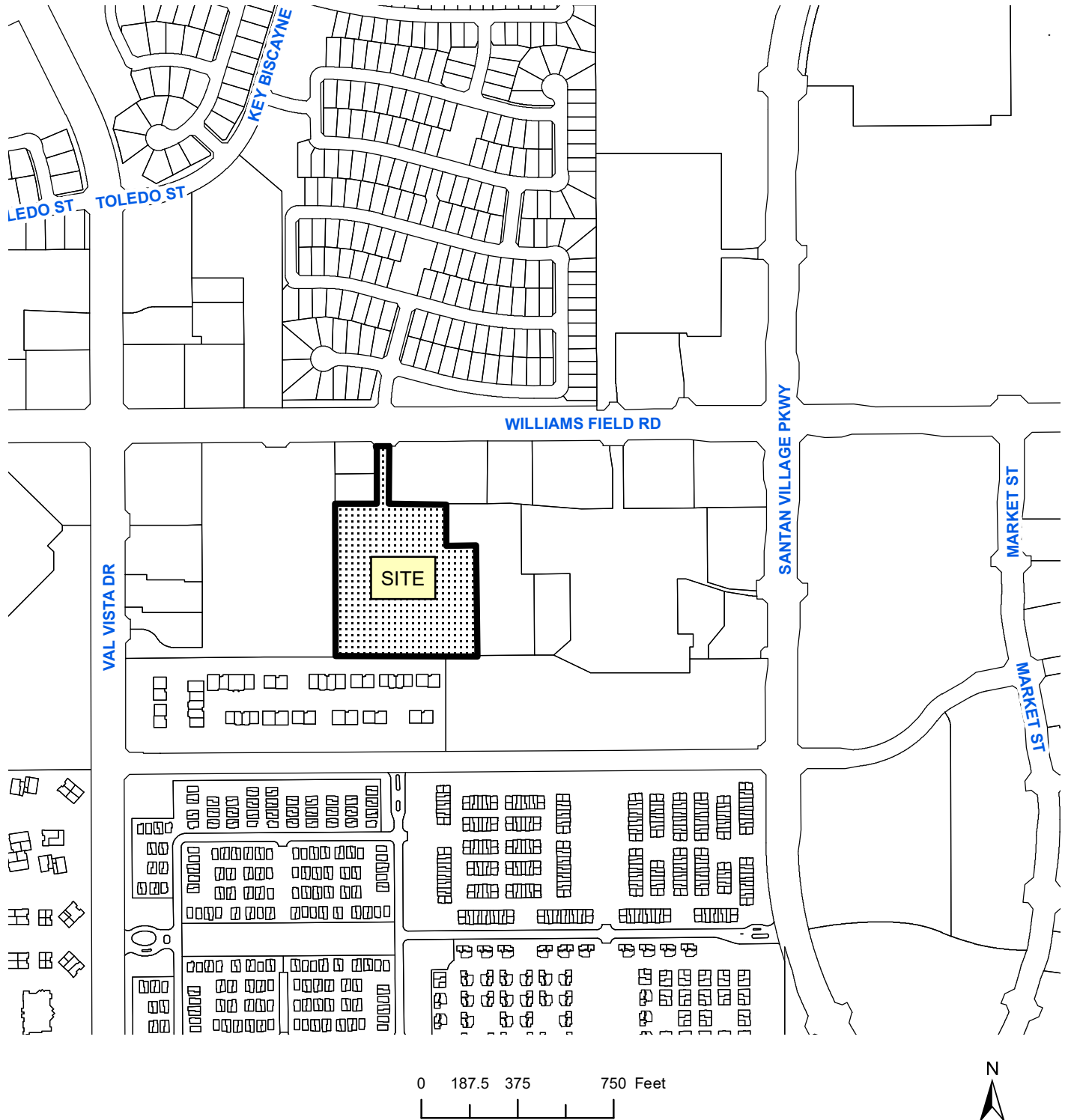
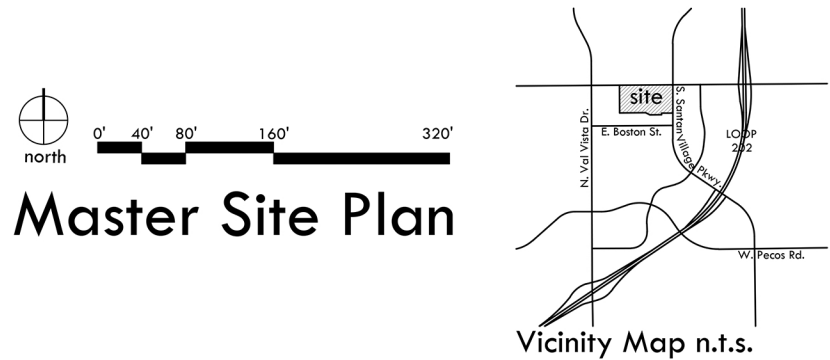
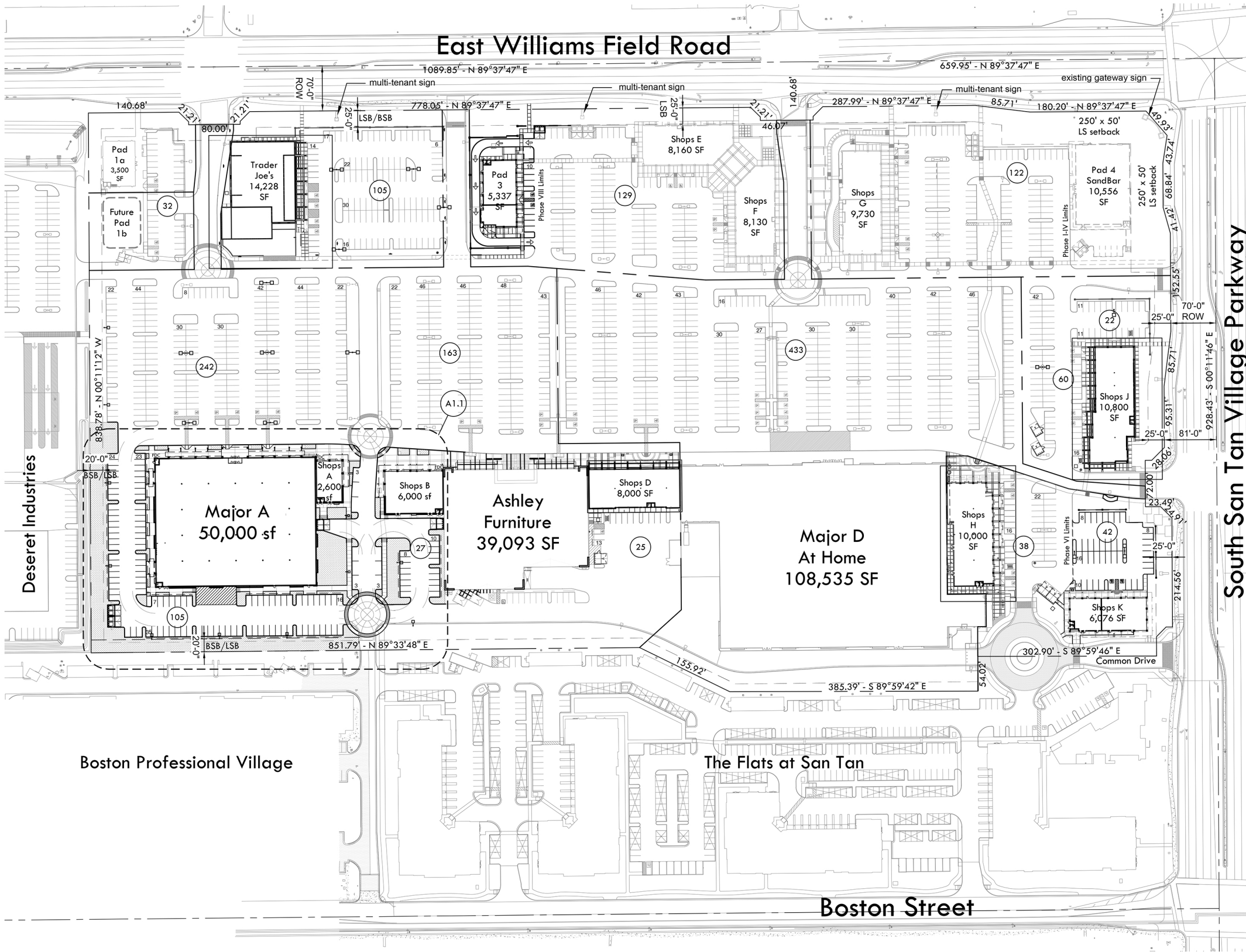




Exhibit 3
Aerial Photo



Master Site Plan

DR19-174 San Tan Pavilions
Phase IX-Major A, Shops A & B
Attachment 3: Master Site Plan
January 8, 2020

PROJECT DESCRIPTION
A NEW SHOPPING CENTER ON +/-33 AC TO BE BUILT IN PHASES. THE SUBJECT PARCELS IN THIS SUBMITTAL COMPRISE PHASE IX, THREE NEW RETAIL BUILDINGS TOTALING APPROX. 58,600 SF. PARALLEL PARKING ALONG THE LINK ROAD, REAR AND SIDEYARD LANDSCAPING ARE INCLUDED IN THIS PHASE.

PROJECT INFORMATION
Project Name San Tan Pavilions
Project Address SWC Williams Field Rd and San Tan Village Pkwy
Owner Town of Gilbert, Arizona
Remington Nevada
2701 E Camelback Rd, Suite 173
Phoenix, AZ 85016
Contact: Stephen Herman
Tel: 602-859-1502
Email: seh@thecapitalcos.com
Architect SUITE 6 architecture + planning
6111 N. Cattletrack Road
Scottsdale, Arizona 85250
Contact: Dean Munkachy
Tel: 480-348-7800
Email: dean@suite6.net

SITE DATA

Existing Zoning	RC
Overall Property	GROSS: 1,628,315 sf (37.38 ac) NET: 1,443,000 sf (32.90 ac)
Phases I -VIII	1,237,780 sf (28.42 ac)
Phase IX- Subject	161,114 sf (3.70 ac)
Total to Date	1,398,894 sf (32.12 ac)

BUILDING AREAS

Phases I -VIII	242,145 SF
Phase IX -Subject	58,600 SF
Total to Date	300,745 SF
Lot Coverage-to Date	21.5%

PARKING QUANTITIES

Required-Phases I -VIII		
Indoor Commercial	(242,145/200)	1,211 sp
Outdoor Uses	(5,790/400)	14 sp
Total I-V		1,225 sp
Required-Phase VIII		
Indoor Commercial	(58,600/200)	293 sp
Total to Date		1,518 sp

Bike Pkg Req'd	(1/10)	148 sp
Provided-Phases I -VIII		
Standard Spaces		1,359 sp
ADA Spaces		54 sp
Total		1,413 sp
Provided-Phase IX		
Standard Spaces		132 sp
ADA Spaces		0 sp
Total		132 sp

Total Parking Prov'd to Date	1,545 sp
Total Bike Prov'd	136 sp

ON SITE LANDSCAPE AREA-Phases I-IX

Required	15.0%	209,834 sf
Total Prov'd	18.7%	262,320 sf

PARKING LOT LANDSCAPE AREA -Phases I-VIII

Required	576,350 sf Pkg @ 10% = 57,635 sf
Provided	87,595 sf



San Tan Pavilions
SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- Development Review Set
- Bid Set
- City Submittal
- Construction Set

Revisions:
12-13-19 DR REVISIONS

Ownership of Instruments of Service:
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Seal
Date: October 25, 2019
Project Number: 519
Drawn by: dm/rdp

Sheet Number
A1.0
Master Site Plan



San Tan Pavilions
SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- ▲ Development Review Set
△ Bid Set
△ City Submittal
△ Construction Set

Revisions:
△ 12-13-19 DR REVISIONS

Ownership of Instruments of Service:

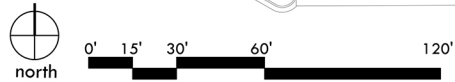
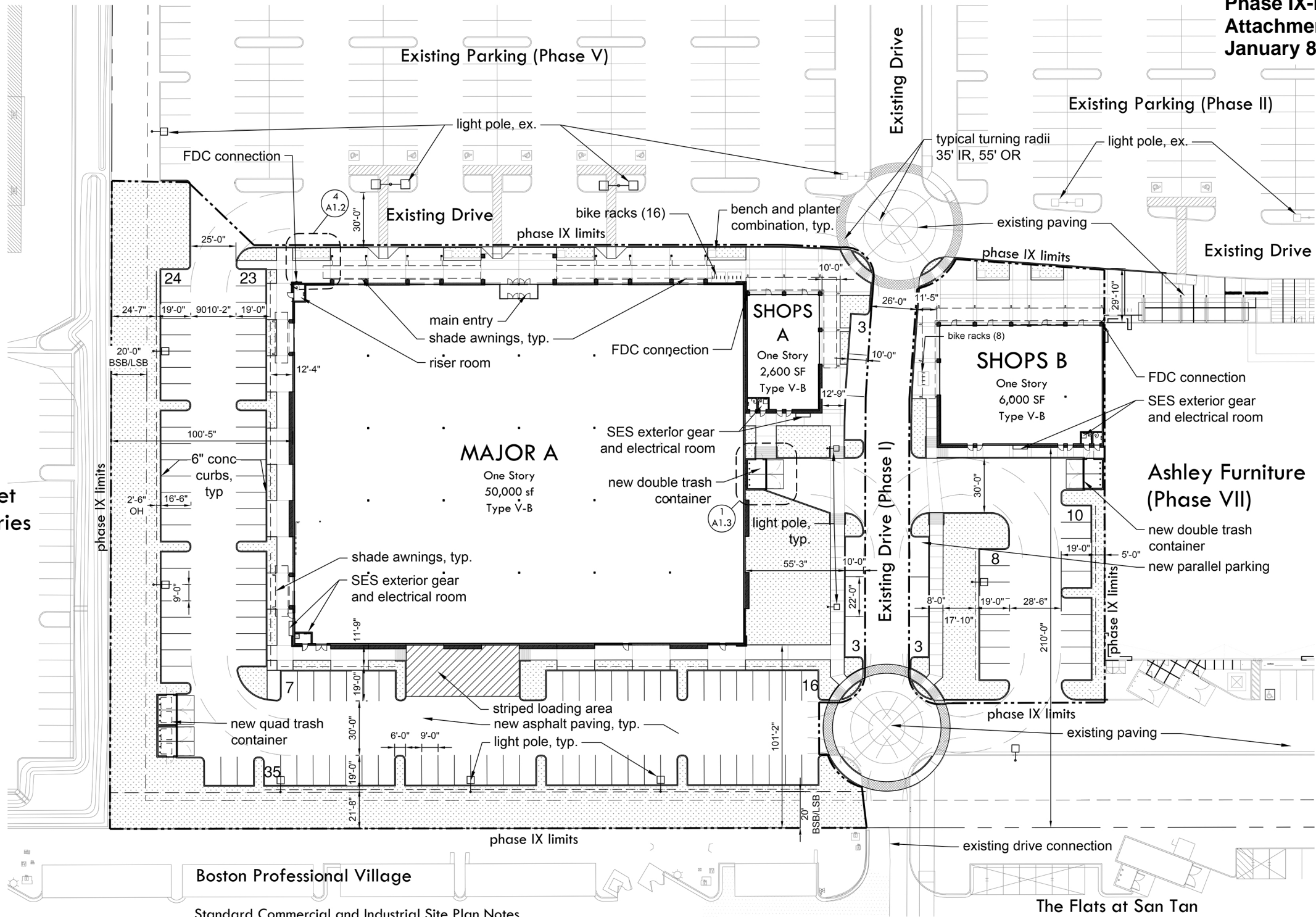
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Seal
Date: October 25, 2019
Project Number: 519
Drawn by: dm/rdp
Sheet Number

A1.1

Enlarged Site

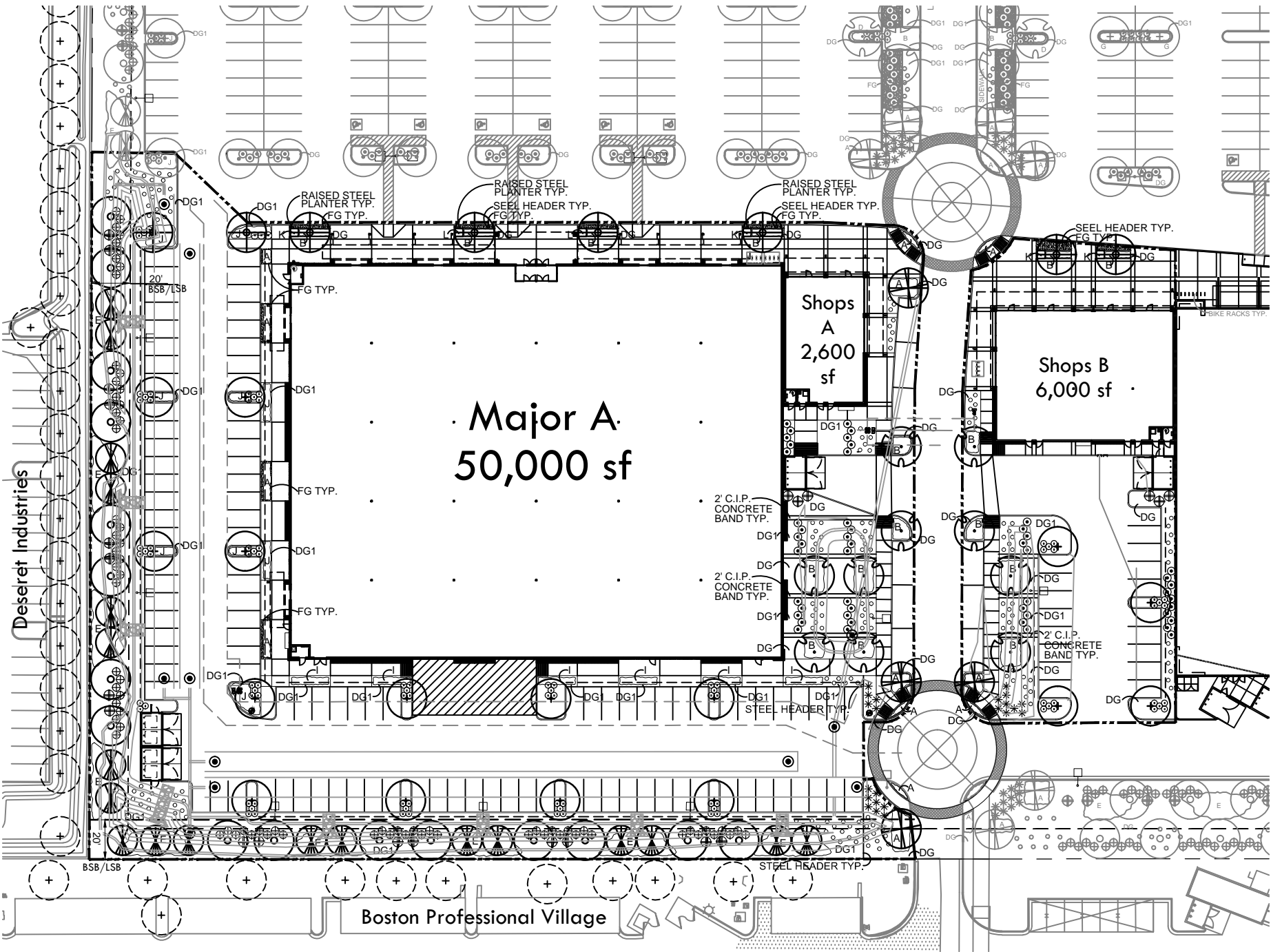


Enlarged Site Plan
Phase IX - Major A,
Shops A&B

landscaped area: see landscape plans for detail.

Standard Commercial and Industrial Site Plan Notes

- All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated under ground.
- All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
- All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 8' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - An alternative screening method approved by the Planning Department prior to issuance of any permits.
- The location of all electrical utility equipment shall be identified on the construction plans.
- Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
- Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
- Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
- Pneumatic tubes, whether metal or plastic, shall be either:
 - Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - Routed under ground.
- All backflow prevention devices larger than 2" shall be screened with landscape located within a 6' radius of the device. All backflow preventers 2" or smaller shall be placed in a locked wire mesh cage painted to match the primary building color.
11. All freestanding light poles shall:
 - Be located within landscaped areas or planter islands.
 - Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30" from adjacent grade.
 - Be located to avoid conflict with trees.
- Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
- Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
- Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamanite, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
- Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
- All exterior metal shall be finished or painted to match the approved project colors.
- Existing on-site plant material damaged during construction shall be replaced with comparable species and size.



NOTE:
ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARD DETAIL GIL-212 AT TIME OF INSTALLATION. ALL TREES WITHIN THE SIGHT LINE SHALL CANOPY AT 7' WHEN INSTALLED AND NO VEGETATION OR HARDSCAPE THAT WILL BE ABOVE 24" (AT MATURITY) WILL BE ALLOWED WITHIN THE SIGHT LINE.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE RE-APPROVAL. LANDSCAPE INSTALLATIONS TO BE APPROVED BY THE TOWN OF GILBERT INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.

MAINTENANCE NOTE
All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition. This shall be the responsibility of the PROPERTY OWNERS.

TOWN OF GILBERT NOTES:

- A Town of Gilbert permit is required for the installation of any landscape or irrigation system. Irrigation lines must be inspected before backfilling. A CD with PDF format "AS-BUILTS" of the landscape & irrigation plans are also required.
- "Before the Town of Gilbert will accept and installed backflow device for approval the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the Town of Gilbert Backflow Specialist. The Town will provide an up-to-date list of Certified Testers from which to be selected. Tester fees will be at the expense of the Installer."
- Design of walls, entry monument sign, and ramadas as presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the depicted walls, entry monument signs, and ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments, and ramadas.
- No plant material shall come within 3 feet of fire hydrants and Fire Department equipment.
- No objects within the Town of Gilbert sight triangles shall exceed 2 feet, and trees shall have a 7 feet minimum clear canopy. All trees, shrubs, and groundcovers are to meet or exceed A.N.A. specifications.
- Construction may begin after all permits have been obtained.

CONCEPTUAL PLANTING PLAN



EXIST. CONDITIONS GENERAL NOTES

- ALL PLANT MATERIAL DESIGNATED AS "EXIST TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE THAT DIES DUE TO LACK OF WATER, MAINTENANCE OR CARE, NEGLECT OR VANDALISM SHALL BE REPLACED BY A LIKE TYPE TREE, 48" BOX MIN. AT NO ADDITIONAL COST TO THE OWNER. ALL SHRUBS/GCOVERS SHALL BE REPLACED W/ 5 GAL PLANTS.
- LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPLACED W/ NEW DG MATCHING EXISTING. BLEND ALL DISTURBED AREAS SO THERE IS SMOOTH TRANSITION BETWEEN ALL EDGES.
- ANY/ALL BROKEN HEADERS TO BE REPLACED.
- ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UNINTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO; HAND WATERING, TRUCK WATERING, TEMPORARY SYSTEM, ETC.
- THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. THE EXISTING SYSTEM IS TIED TO ADJACENT PROPERTIES. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERALS, HEADS, EMITTERS, ETC SHALL BE REPAIRED/REPLACED AS REQ TO MAINTAIN CONTINUOUS WATER. ALL EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT DIRECTION.

DR19-174 San Tan Pavilions Phase IX-Major A, Shops A & B Attachment 5: Landscape January 8, 2020



G.K. FLANAGAN
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4025 N. 44th Street
Phoenix, AZ 85018
602.952.8891
602.952.8890 fax



CONCEPTUAL PLANT PALETTE

TREES	SIZE / COMMENTS / QTY
CERCIDIUM PRAECOX 'AZT HYBRID #5' AZT HYBRID PALO BREA #5	36" BOX / MATCHED LOW BREAKING / 8 QTY
PROSOPIS 'AZT PODLESS HYBRID' AZT HYBRID PODLESS MESQUITE	48" BOX / MATCHED LOW BREAKING / 4 QTY
PROSOPIS 'AZT PODLESS HYBRID' AZT HYBRID PODLESS MESQUITE	36" BOX / MATCHED LOW BREAKING / 10 QTY
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / MATCHED LOW BREAKING / 16 QTY
DALBERGIA SISSOO SISSOO TREE	24" BOX / MATCHED LOW BREAKING / 16 QTY
CHITALPA TASHKENTENSIS CHITALPA TREE	24" BOX / MATCHED LOW BREAKING / 19 QTY
SHRUBS	
MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL, 3 QTY
SIMMONDSIA CHINENSIS 'VISTA' COMPACT JOJOBA	5 GAL, 88 QTY
LEUCOPHYLLUM LANGMANIEA RIO BRAVO SAGE	5 GAL, 50 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL, 22 QTY
LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS SAGE	5 GAL, 72 QTY
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	5 GAL, 22 QTY
GROUNDCOVER	
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1 GAL, 168 QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 95 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL @ 3' O.C., 172 QTY
ACACIA REDOLENS 'DESERT CARPET' DESERT CARPET TRAILING ACACIA	1 GAL @ 4' O.C., 223 QTY
CARISSA GRANDIFLORA 'GREEN CARPET' GREEN CARPET NATAL PLUM	5 GAL @ 2.5' O.C., 75 QTY
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL @ 3' O.C., 80 QTY
IPOMOEA BATATAS 'MARGARITA' LIME GREEN POTATO VINE	1 GAL @ 2.5' O.C., 16 QTY
IPOMOEA BATATAS 'BLACKIE' PURPLE POTATO VINE	1 GAL @ 2.5' O.C., 8 QTY
DG DECOMPOSED GRANITE TABLE MESA BROWN - 1/2" SCREENED	2" DEPTH TYP.
DG1 DECOMPOSED GRANITE GRANITE EXPRESS GOLD - 1/4" MINUS	2" DEPTH TYP.
FR FRACTURED GRANITE TABLE MESA BROWN - 1'-3"	4" DEPTH TYP.

GENERAL NOTES

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE & COLOR AS SPECIFIED APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
- VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION IN WRITING.
- NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT AND TOWN OF GILBERT.
- LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUNDCOVER AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVEING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- ADJUST NEW LANDSCAPE TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN GOOD, HEALTHY CONDITION DURING CONSTRUCTION.
- ANY EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN IS TO BE REMOVED BY CONTRACTOR.
- ALL STEEL HEADER TO BE 1/8" THICK COLD ROLL STEEL 4" DEPTH.

LANDSCAPE SITE DATA (PHASE IX ONLY)

TOTAL NET SITE AREA	161.114	SQ. FT.	3.7	AC.
SQUARE FOOTAGE OF ON-SITE LANDSCAPING	32.672	SQ. FT.	20.3	% OF SITE
SQUARE FOOTAGE OF PUBLIC RIGHT-OF-WAY LANDSCAPING	0	SQ. FT.	0	% OF SITE
SQUARE FOOTAGE OF ON-SITE & ROW LANDSCAPING	32.672	SQ. FT.		

San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- ▲ Development Review Set
- △ Bid Set
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- △ Construction Set

Revisions:
△ 12-13-19 DR REVISIONS

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Seal
Date: DECEMBER 20, 2019
Project Number: 519
Drawn by:
Sheet Number

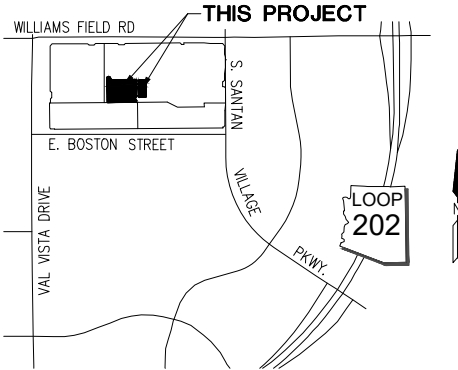
PLANTING PLAN

L-1

SAN TAN PAVILIONS PHASE 9 - MAJOR A
PRELIMINARY GRADING AND DRAINAGE PLAN
GILBERT, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

DR19-174 San Tan Pavilions Phase
IX-Major A, Shops A & B
Attachment 6:Grading and Drainage
January 8, 2020



VICINITY MAP
NTS

OWNER/DEVELOPER

SANTAN AZ, LLC
5920 SOUTH RAINBOW BLVD. STE 11
LAS VEGAS, NV 89118
PHONE: (702) 683-7191
CONTACT: STAN WASSERKRUG

ENGINEER

HILGARTWILSON
2141 E HIGHLAND AVE, STE #250
PHOENIX, ARIZONA 85016
PHONE: (602) 490-0535
FAX: (602) 368-2436
CONTACT: CASEY WHITEMAN

BENCHMARK

BENCHMARK IS A FOUND 3" TOWN OF
GILBERT BRASS CAP FLUSH LOCATED
AT THE EAST QUARTER CORNER OF
SECTION 33, T1S, R6E OF THE G&SRM
ELEVATION: 1286.13'
DATUM: NAVD88

BASIS OF BEARING

BASIS OF BEARING IS S89°37'45"W ALONG
THE NORTH LINE OF THE NORTHWEST
QUARTER OF SECTION 33, TOWNSHIP 1
SOUTH, RANGE 6 EAST OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA.

SITE AREA (PHASE 9 NET)

159,706 SF / 3.67 AC

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A
DEFINITION OF: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1%
ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT
OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS
PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DESIGNATION
DETERMINED BY FEMA FLOOD ZONE MAP 04013C2742M, PANEL NUMBER
2742 OF 4425, & MAP 04013C2765M, PANEL NUMBER 2765 OF 4425,
EFFECTIVE DATE NOVEMBER 4, 2015.

SHEET INDEX

PGD-1 COVER SHEET
PGD-2 PRELIMINARY GRADING AND DRAINAGE PLAN

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ENGINEER | PLAN | SURVEY | MANAGE
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PHOENIX, AZ 85016
www.hilgartwilson.com



SAN TAN PAVILIONS PHASE 9 - MAJOR A

SWC WILLIAMS FIELD ROAD & SAN TAN VILLAGE PARKWAY
GILBERT, ARIZONA

PRELIMINARY GRADING AND DRAINAGE PLAN

PROJ NO:	1555.03
DATE:	DEC 2019
SCALE:	NTS
DRAWN:	AO
DESIGNED:	AO
APPROVED:	OW

DWG. NO.

PGD-1

SHT. 1 OF 2

LEGEND

- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- FF= FINISH FLOOR ELEVATION
- FLOW ARROWS
- EXISTING FLOW ARROWS
- 74- EX. CONTOURS
- 74- CONTOURS
- DRAINAGE AREA
- DRAINAGE AREA LABEL
- DA-2
- RT-1 RETENTION BASIN LABEL
- HW= RETENTION HIGH WATER ELEV.
- BOT= RETENTION BOTTOM ELEV.
- AREA OUTFALL ELEVATION

VOLUME REQUIRED CALCULATIONS

V =DAC
V =VOLUME (CUBIC FEET)
D =FIFTY-YEAR, TWENTY-FOUR-HOUR RAINFALL DEPTH (0.25 FT)
A =AREA (SQUARE FEET)
C =WEIGHTED RUN-OFF COEFFICIENT

AREA ID	D (FT)	AREA (SF)	C	VOL REQ. VR (CF)
DA-1 : PHASE 5 & 9	0.25	281,936	0.90	63,436
DA-2, DA-3, DA-4 : PHASE 2	OVERFLOW VOLUME			36,479

TOTAL VR = 99,915

RETENTION BASIN TABLE

RETENTION	HWE	BOT	VOL REQ. VR (CF)	VOL PRV. VP (CF)
RT-1A	1273.25	1270.25		12,901
RT-1B	1110 LF-120" U.G. TANK		99,915	87,135

TOTAL VP = 100,816

* NOTE: UNDERGROUND STORAGE TANK (RT-1B) AND RETENTION BASIN (RT-1A) ARE
HYDRAULICALLY CONNECTED. THE TOTAL VOLUME REQUIRED FOR DA-1 IS PROVIDED BY
(RT-1A) AND (RT-1B).



SECTION A-A
NTS



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SWC WILLIAMS FIELD ROAD & SAN TAN VILLAGE PARKWAY
GILBERT, ARIZONA

HILDA R. TWILSON

PROJ NO.:	1555.03
DATE:	DEC 2019
SCALE:	1"=60'
DRAWN:	AO
DESIGNED:	AO
APPROVED:	CW

SHT. 2 OF 2



VAL VISTA DRIVE

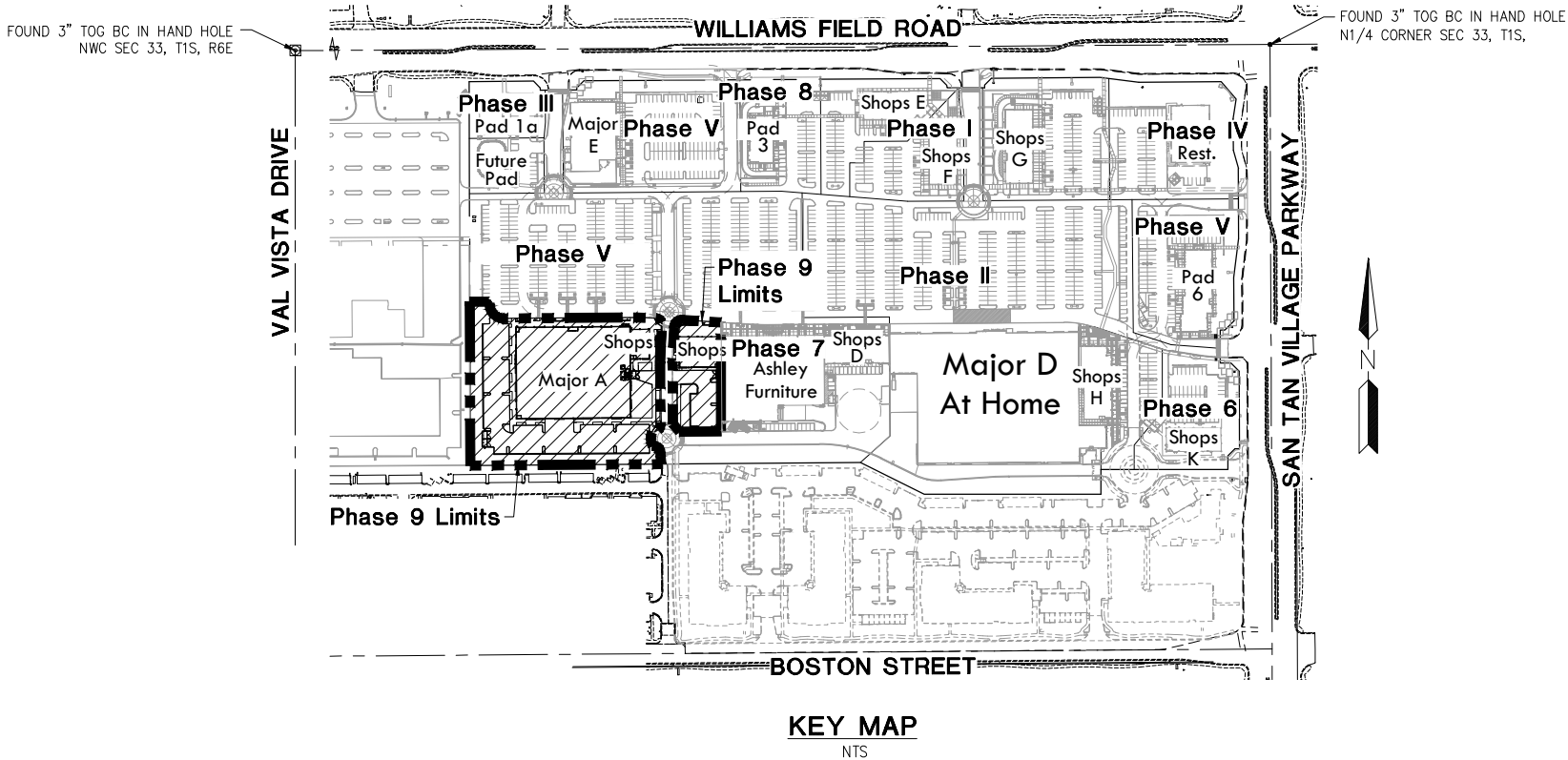
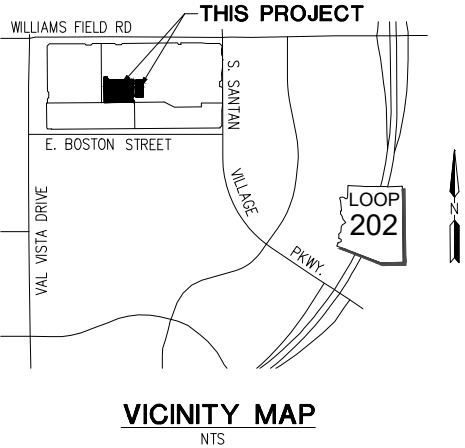
N00°11'25"W 1323.90'

FND 3" TOG BCF

NWC SEC 33, T1S, R6E
FND 3" TOG BCHH

SAN TAN PAVILIONS PHASE 9 - MAJOR A
PRELIMINARY UTILITY PLAN
GILBERT, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- CENTER LINE
- WATER LINE EASEMENT
- 10"S 10" SEWER LINE
- 8"S 8" SEWER LINE
- 6"S 6" SEWER LINE
- 8"W 8" WATER LINE
- 6"W 6" WATER LINE
- 2"W 2" WATER LINE
- FIRE HYDRANT (FH)
- WATER VALVE
- WATER METER
- BACKFLOW PREVENTER (BFP)
- SEWER MANHOLE (MH)

OWNER/DEVELOPER

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SAN TAN PAVILIONS PHASE 9 - MAJOR A

SWC WILLIAMS FIELD ROAD & SAN TAN VILLAGE PARKWAY
GILBERT, ARIZONA

PRELIMINARY UTILITY PLAN

HILGARTWILSON

PROJ NO:	1555.03
DATE:	DEC 2019
SCALE:	NTS
DRAWN:	AO
DESIGNED:	AO
APPROVED:	OW


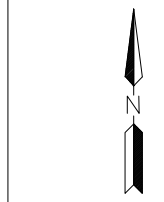
DWG. NO.

PUP-1

SHT. 1 OF 2



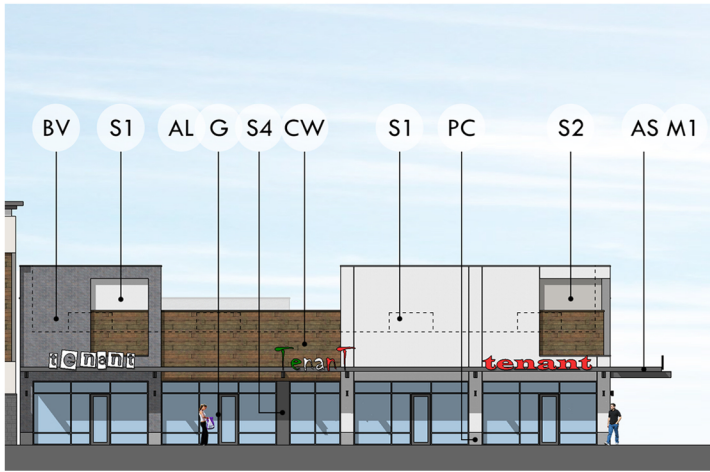
FND 3" TOG BCF



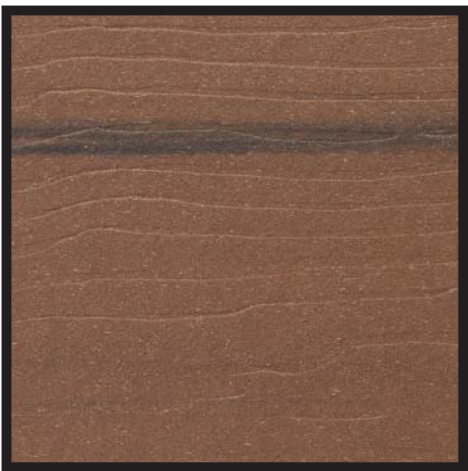
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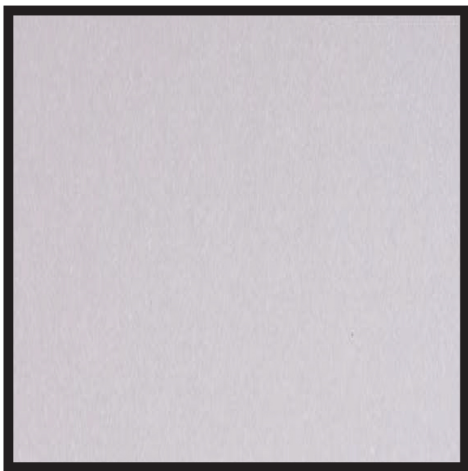
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BV block veneer
Trendstone "Black Canyon"



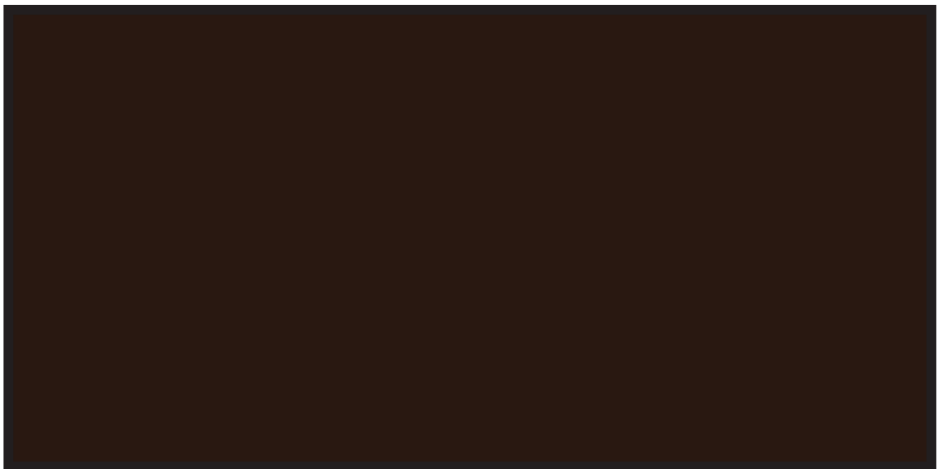
CW composite wood cladding
Moisture Shield "Walnut"



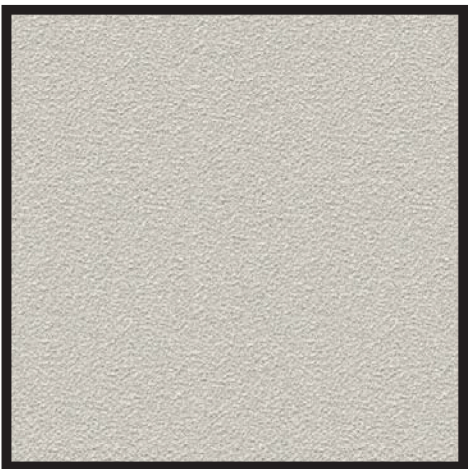
PC precast concrete
"Natural Gray"



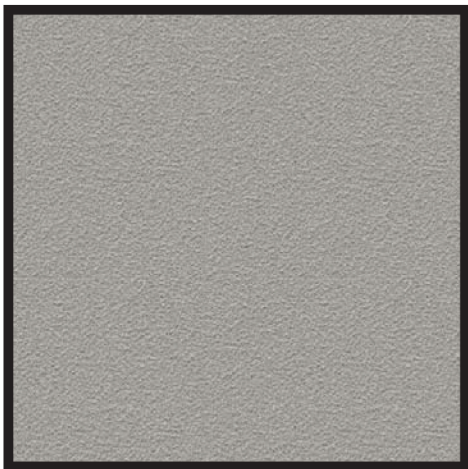
AS/M1 metal painted
Dunn Edwards DE6384
"Iron Fixture"



AL aluminum storefront
Kawneer "Dark Bronze No.40"



S1 TW paint on smooth stucco or
textured paint on tilt wall
Dunn Edwards DE6218
"Antique Paper"



S2 TW paint on smooth stucco or
textured paint on tilt wall
Dunn Edwards DEC975
"Gray Pearl"



S3 TW paint on smooth stucco or
textured paint on tilt wall
Sherwin Williams SW7074
"Software"

San Tan Pavilions
SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

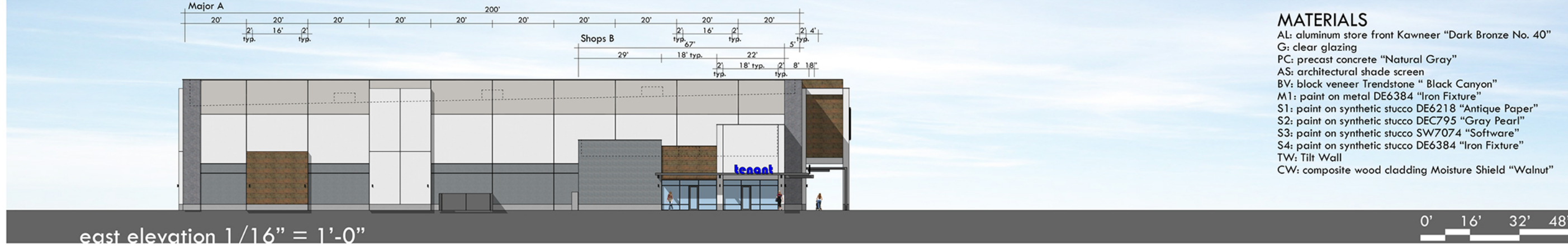
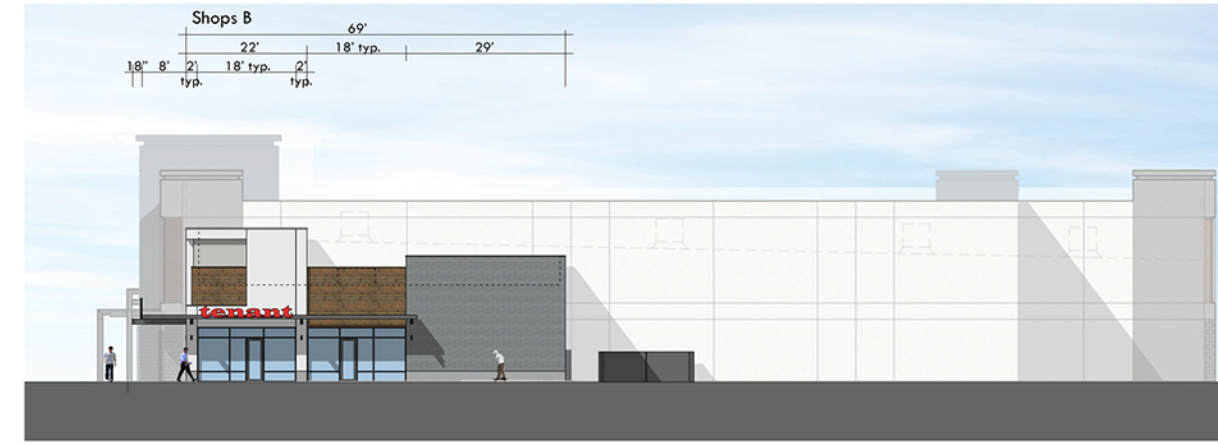
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Seal
Date: December 18, 2019
Project Number: 519
Drawn by: dm/rdb
Sheet Number



Seal

Date: December 17, 2019

Project Number: 519

Drawn by: dm/rdh

Sheet Number

A3.0

Major A + Shops A & B
elevations



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

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Seal

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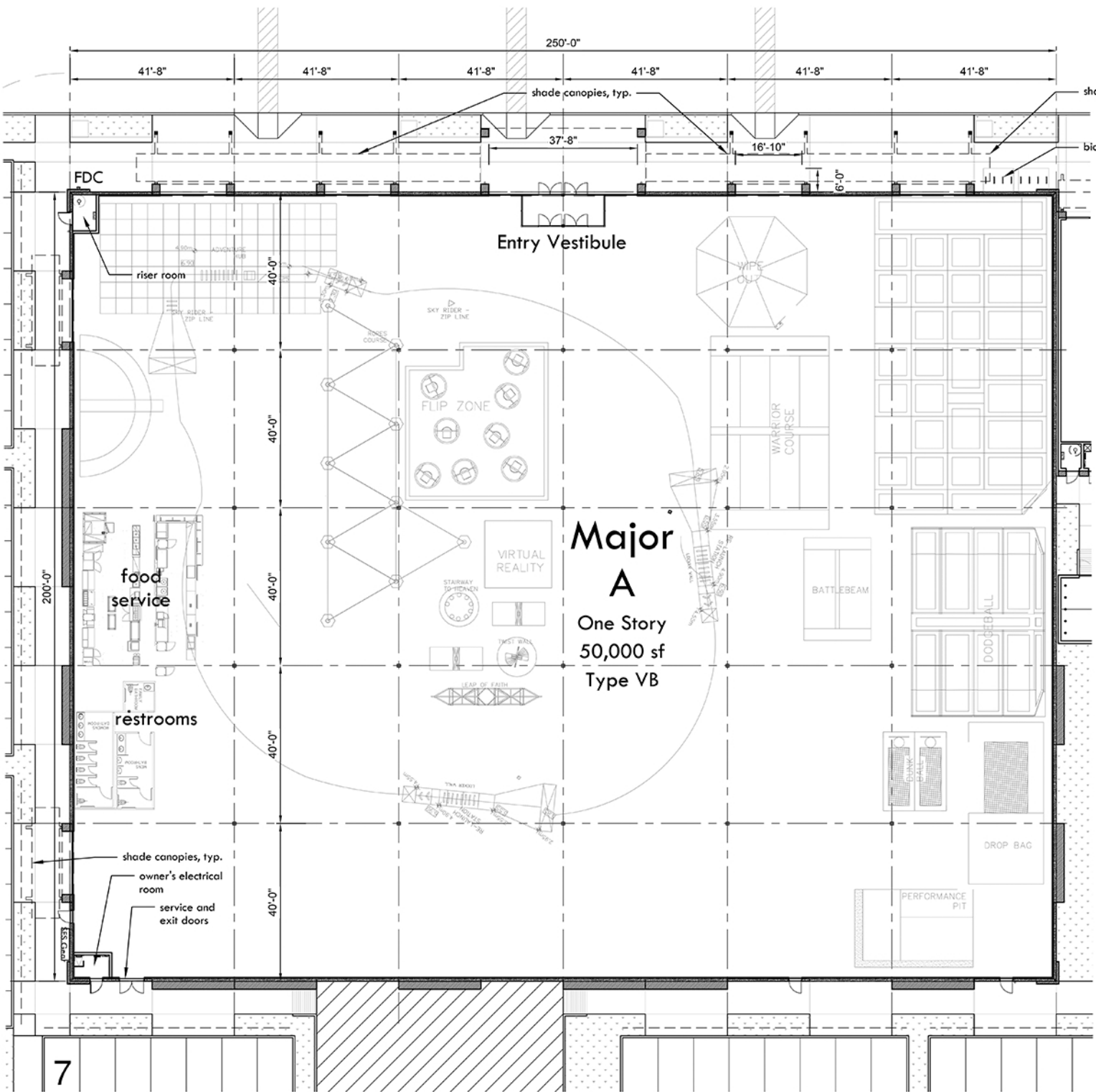
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Drawn by: dm/rdb

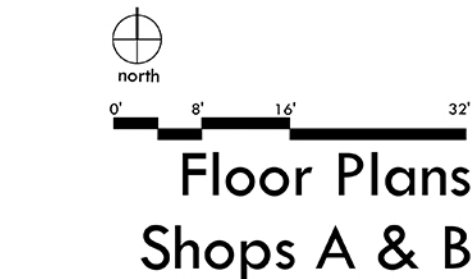
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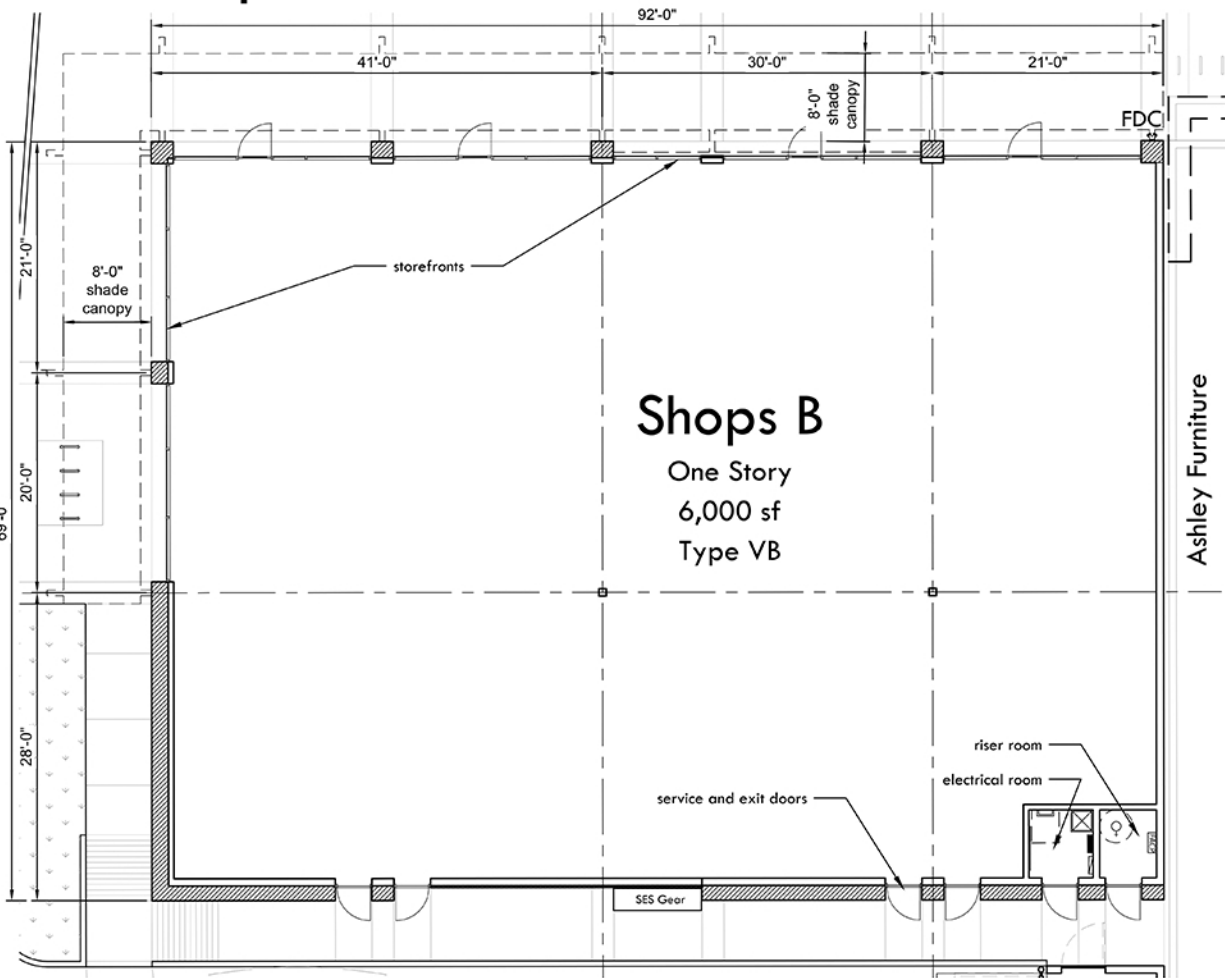
Major A + Shops A & B renderings



Floor Plan Major A



Floor Plans
Shops A & B



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
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San Tan Pavilions

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Revisions:

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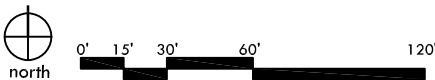
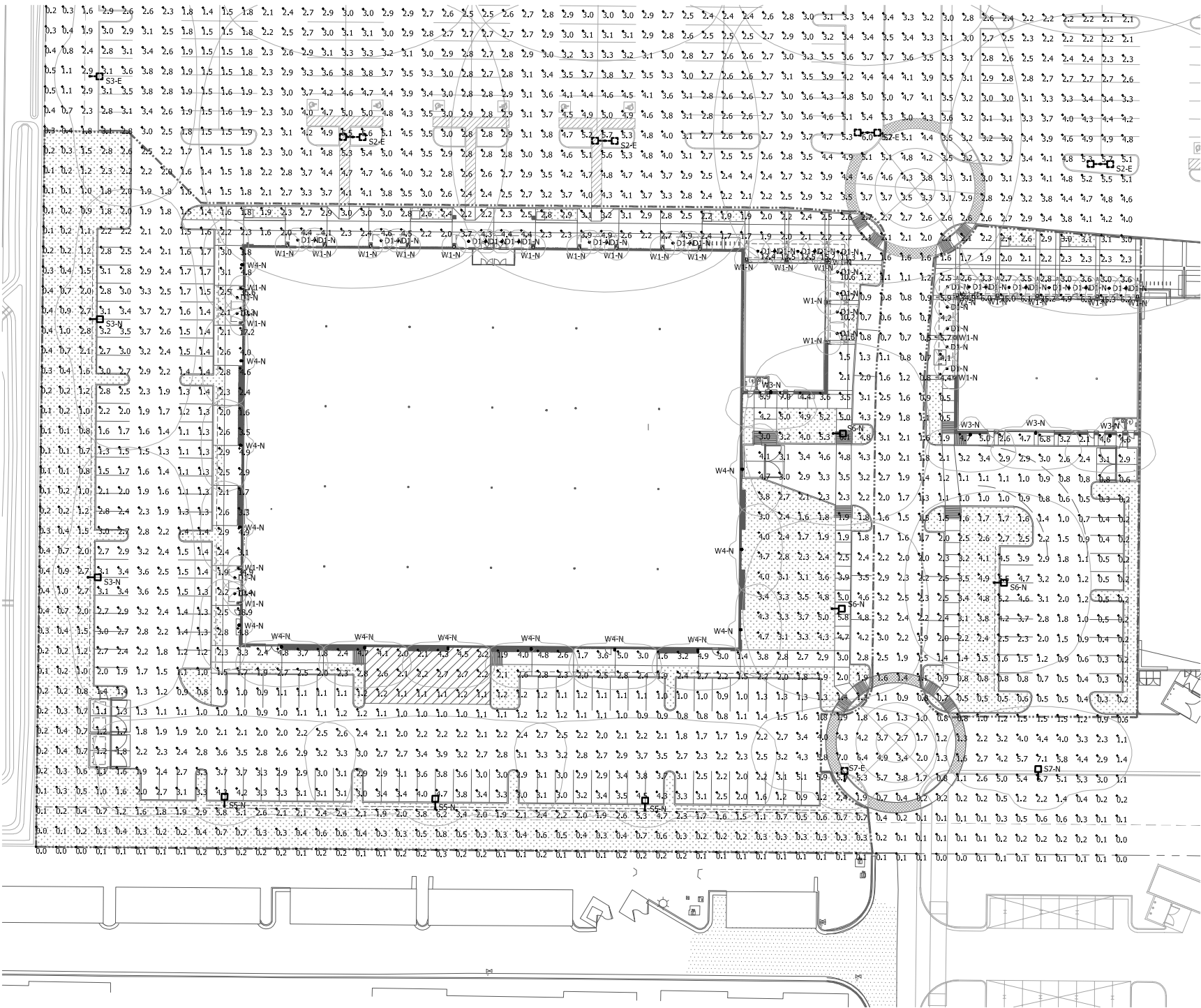
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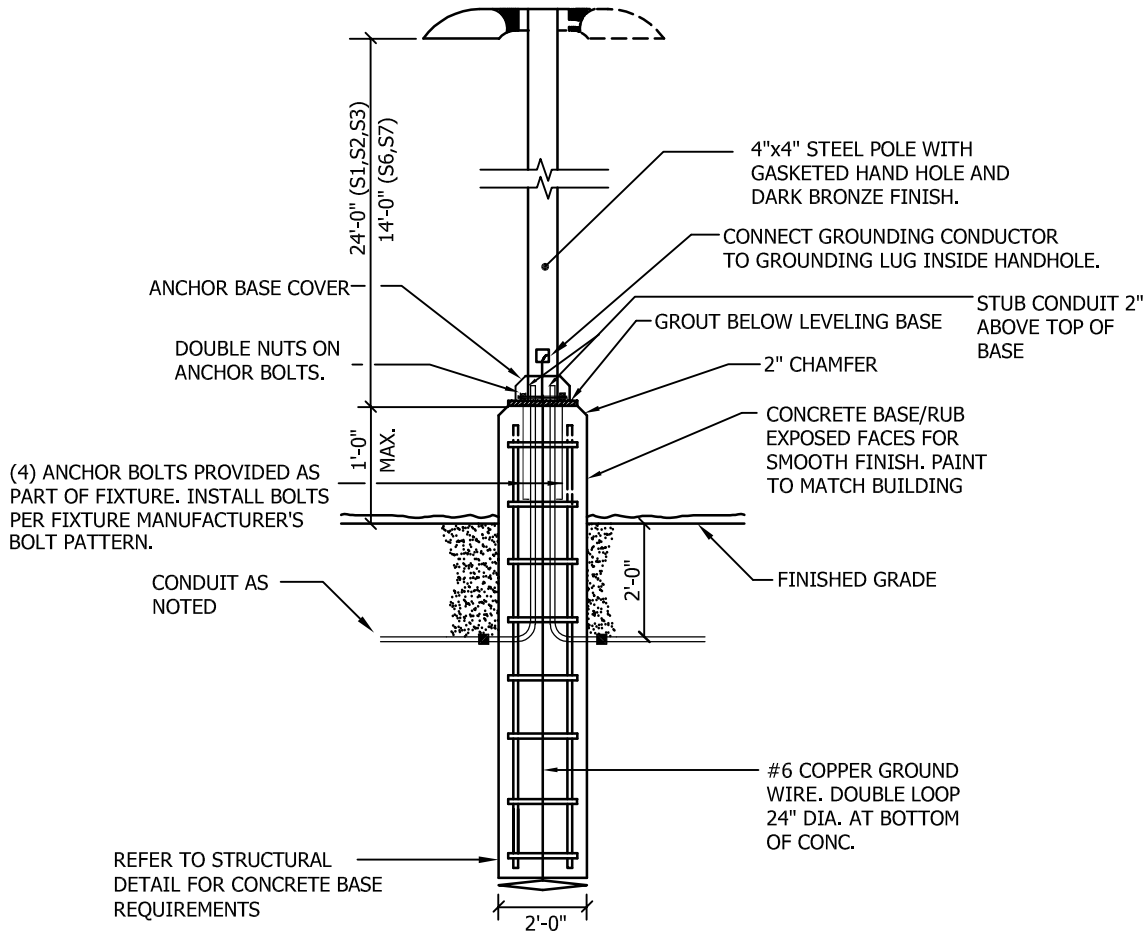
Seal
Date: October 4, 2019
Project Number: 519
Drawn by: dm/rdb
Sheet Number

E1.1

Photometric Site



Enlarged Photometric Site Plan Phase IX - Major A, Shops A&B



POLE BASE DETAIL
N.T.S.

Luminaire Schedule						
Symbol	Label	Description	Arrangement	LLF	Arr. Watts	Lum. Lumens
	D1-N	WAC_Lighting HR-3LED-T218N-C-WT - CANOPY (NEW)	SINGLE	1.000	20.4	731
	S1-E	EATON GLEON-AF-03-LED-E1-5WQ BK 2@180 +25 FEET (EXISTING)	D180°	1.000	332	19141
	S2-E	EATON GLEON-AF-04-LED-E1-5WQ BK 2@180 +25 FEET (EXISTING)	D180°	1.000	450	25291
	S3-E	EATON GLEON-AF-03-LED-E1-T3 BK SINGLE +25 FEET (EXISTING)	SINGLE	1.000	166	18176
	S3-N	EATON GLEON-AF-03-LED-E1-T3 BK SINGLE +25 FEET (NEW)	SINGLE	1.000	166	18176
	S5-N	EATON GLEON-AF-03-LED-E1-SL3 BK SINGLE +25 FEET (NEW)	SINGLE	1.000	166	18591
	S6-N	EATON GLEON-AF-03-LED-E1-5WQ BK SINGLE +15 FEET (NEW)	SINGLE	1.000	166	19141
	S7-E	EATON GLEON-AF-02-LED-E1-T3 BK SINGLE +15 FEET (EXISTING)	SINGLE	1.000	113	12461
	S7-N	EATON GLEON-AF-02-LED-E1-T3-BK SINGLE +15 FEET (NEW)	SINGLE	1.000	113	12461
	W1-N	LIGMAN JE-30351-W-W40 - +8 FEET (NEW)	SINGLE	1.000	15	1099
	W3-N	LIGMAN TA-31861-T3-W40 - +12 FEET (NEW)	SINGLE	1.000	37.8	2722
	W4-N	LIGMAN TA-31861-T3-W40 - +14 FEET (NEW)	SINGLE	1.000	37.8	2722

Calculation Summary								
Label	Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL	Horizontal at Grade	Illuminance	Fc	2.67	35.4	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Horizontal at Grade	Illuminance	Fc	0.24	0.5	0.0	N.A.	N.A.
EAST PROPERTY LINE	Horizontal at Grade	Illuminance	Fc	0.13	0.3	0.0	N.A.	N.A.

GENERAL NOTES

1. THE PHOTOMETRIC CALCULATIONS WERE GENERATED IN OUR OFFICE UTILIZING PHOTOMETRIC DATA FILES FURNISHED BY THE FIXTURE MANUFACTURES. TO THE BEST OF OUR KNOWLEDGE THIS PHOTOMETRIC CALCULATION REPRESENTS THE PROPOSED INITIAL LIGHTING LEVELS BASED ON INFORMATION FROM THE LIGHT FIXTURE MANUFACTURES DATA AND INITIAL LUMENS.



San Tan Pavilions

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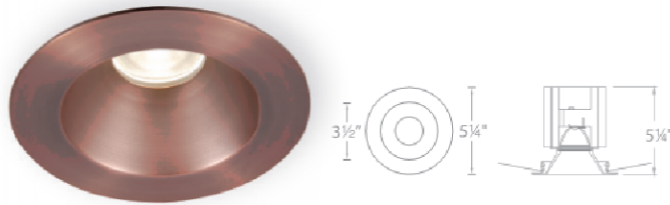
Sheet Number



E1.2
Schedule & Detail

HR-3LED-T218

3.5" Tesla™ LED Shower Trim



PRODUCT DESCRIPTION

Minimum profile, round shower trim with interior open reflector.

FEATURES

- 3.5" aperture
- Wet location listed
- 30° visual cutoff angle for glare control
- 50,000 hour rated life
- 5 year WAC Lighting product warranty

TRIMS

Model#	Beam	Color Temp	CRI	Lumens	CBCP	Finish
HR-3LED-T218N <i>Shower Light</i> <i>Wet Location Listed</i>	28°	27	2700K	85	790	1889
		W	3000K	85	780	1975
		9W	3000K	90	718	1819
		35	3500K	85	790	2051
		C	4000K	85	730	2012

HR-3LED-T218N - [] - []

Example: HR-3LED-T218N-C-CB

COMPATIBLE HOUSINGS See individual housing spec sheets for complete information.

New Construction

HR-3LED-H18D1-ICA <i>Narrow, IC-Rated, Airtight</i>	120V-277V	HR-3LED-H18D1-ICAC <i>Narrow, IC-Rated, Airtight</i> <i>Chicago Plenum</i>	120V-277V
HR-3LED-H18D-ICA <i>IC-Rated, Airtight</i>	120V-277V	HR-3LED-H18D-ICAC <i>IC-Rated, Airtight</i> <i>Chicago Plenum</i>	120V-277V
HR-3LED-H18D-EMICA <i>IC-Rated, Airtight</i> <i>Emergency Backup Battery</i>	120V	HR3LED-H18D-EMICAF <i>IC-Rated, Airtight</i> <i>Emergency Backup Battery</i>	277V
HR-3LED-H18D-A <i>New Construction</i> <i>Non-IC, Airtight</i>	120V-277V		

Remodel

HR-3LED-R18D-A <i>Non-IC, Airtight</i>	120V-277V	HR-3LED-R22D <i>Non-IC</i>	120V-277V
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wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2015

WAC LIGHTING

Responsible Lighting®

Fixture Type: []

Catalog Number: []

Project: []

Location: []

SPECIFICATIONS

Construction: Durable die-cast aluminum construction with borosilicate glass lens. Extruded aluminum heat sink.

Power Consumption: 21.5W

Dimming: 0-10V Dimming: 100%-10%
ELV Dimming: 100%-15% (120V only)

Mounting: Two heavy gauge retention clips hold trim firmly to housing.

Finish: Powder coated white
Electroplated brushed nickel and copper bronze

Standards: ETL & cETL Listed. Wet Location Listed.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

McGraw-Edison

Catalog #	Type
	S
Project	
Comments	
Prepared by	

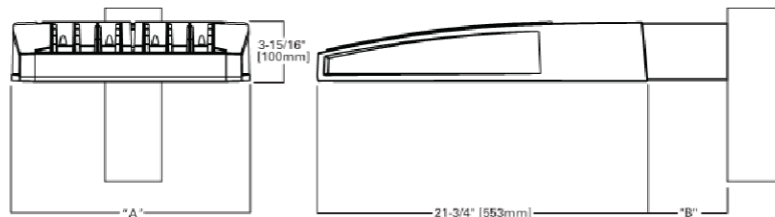


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS



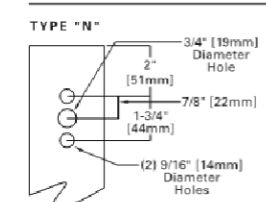
DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length 1	Weight with Arm (lbs.)	EPA with Arm 2 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

EAT•N
Powering Business Worldwide

DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



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2016-09-28 15:31:55



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

Development Review Set

▲ Bid Set

▲ City Submittal

▲ Construction Set

Revisions:

Ownership of Instruments of Service:

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Seal

Date: October 4, 2019

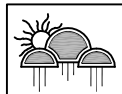
Project Number: 519

Drawn by: dm/rdb

Sheet Number

E1.3

Fixture Cut Sheets



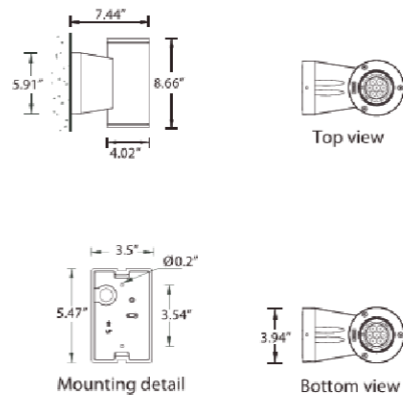
Kraemer Consulting Engineers, PLLC.
Mechanical and Electrical Engineers
2050 West Whispering Wind Dr., Suite 158
Phoenix, Arizona 85085-2864
(602) 285-1669
(602) 285-9450 - Fax
JOB # 19-285A

FIXTURE TYPE 'D1'

FIXTURE TYPES 'S1', 'S2', 'S3', 'S5', 'S6' & 'S7'



IP65 : Suitable for Wet Locations
IK08 : Impact Resistant (Vandal Resistant)



Ordering Example : UJE - 31751 - White-2x12w - N - 120v - Options



Rev: 11/13

PROJECT: _____ DATE: _____
TYPE: _____ QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information.
Due to the continual improvements in LED technology data and components may change without notice.



FIXTURE TYPE 'W1'

LUMINAIRE SPECIFICATION

Head Office: Tel: 503-645-0500
7144 NW Progress Ct. Fax: 503-645-8100
Hillsboro, Oregon 97124
www.ligmanlightingusa.com

UTA-31861

Jet cylindrical wall up-down light LED

Wall luminaires with a selection of beam distributions for various downward or upward lighting requirements. Designed to illuminate the wall surface and for light accents on vertical surfaces.
They are suitable for many applications such as residential and pedestrian areas, shopping malls, parks and gardens, as well as commercial, historic or modern architectural interiors and exteriors. The luminaires have features such as long life, limited maintenance and constant lifetime performance. The cool lens is perfect for public and pedestrian areas. The luminaires use a high quality LED source with low energy consumption and long service life 50,000 - 80,000 hrs.
The luminaire is rated as class I with the high power LED integral driver. Low copper content die-cast aluminum housing and frame. Stainless steel screws. Durable silicone rubber gasket and clear toughened glass. Single cable entry. Housing is treated with a chemical chromated protection before powder coating, ensuring high corrosion resistance. Anodized high purity aluminum reflector.
High power LED with three different beam distribution options in 2700K, 3000K and 4000K. Consult factory for additional colors. Mounting plate for 3" junction box is provided with the fixture.

Physical Data

Length: 7.44"
Height: 8.66"
Weight: 5.5 lbs

Lamp

2x12w - 2x710lm - White - LED

Beam Angle (Please Specify)

- N - Narrow Beam: 19 Deg
- M - Medium Beam: 25 Deg
- W - Wide Beam: 34 Deg

LED Color (Please Specify)

- W27 - 2700K
- W30 - 3000K
- W40 - 4000K

Voltage (Please Specify)

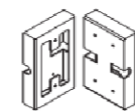
- 120V
- 277V
- Other

Options (Please Specify)

- F - Frosted Lens
- C - Clear Lens

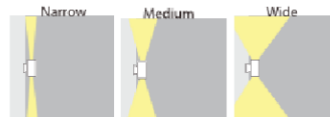
Color (Please Specify)

- 01-Black - RAL 9011
- 02-Dark Grey - RAL 7043
- 03-White - RAL 9003
- 04-Metallic Silver - RAL 9006
- 05-Matt Silver - RAL 9006
- 06-Bronze - RAL 6014
- 07- Custom - RAL



SCE - Surface Conduit Entry Box - 1/2" 3/4"

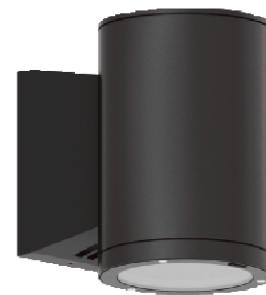
4" Mounting Plate for Junction Box



Surface

UTA-31861

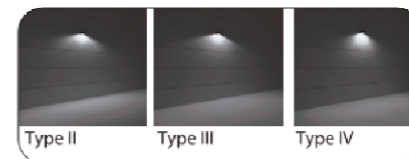
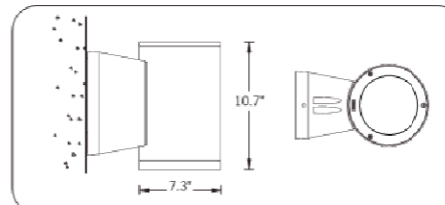
Tango 29 Downlight



Physical Data

Length - 7.3"
Height - 10.7"
Weight - 9.7 lbs

IP65 - Suitable For Wet Locations
IK08 - Impact Resistant (Vandal Resistant)



Standard Options

Lamp
37w LED
28w LED
20w LED

Beam

T2 - Type II Distribution - 2706lm
T3 - Type III Distribution - 2722lm
T4 - Type IV Distribution - 2777lm
[lumen output for 37w LED]

LED Color

W27 - 2700K
W30 - 3000K
W40 - 4000K
(IDA Dark Sky approved for 2700K & 3000K only)

Finish Color

01-Black - RAL 9011
02-Dark Grey - RAL 7043
03-White - RAL 9003
04-Metallic Silver - RAL 9006
05-Matt Silver - RAL 9006
06-Bronze - RAL 6014
07- Custom RAL

Options (Consult Factory for Pricing)

F - Frosted Lens

EMG - Emergency Battery Pack
SCE - Custom Surface Conduit Entry Box
HGT - Specify Custom Height
NAT - Natatorium & High Salt Environments
RPA - Round Pole Adapter
DIM - 0-10v Dimming

Ordering Example : UTA - 31861 - 37w - T2 - W30 - 02 - 120/277v - Options

UTA	31861	Lamp	Beam	LED Color	Color	Voltage	Options
		37w LED 28w LED 20w LED	T2 T3 T4	W27 W30 W40	01 02 03 04 05 06 07	120/277v Other (Specify)	SCE EMG HGT F NAT RPA DIM

PROJECT: _____ DATE: _____ QUANTITY: _____
TYPE: _____ NOTE: _____

Head Office: Tel: 503-645-0500
7144 NW Progress Ct. Fax: 503-645-8100
Hillsboro, Oregon 97124 www.ligmanlightingusa.com



Rev: 11/13

FIXTURE TYPES 'W3', & 'W4'



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Seal
Date: October 4, 2019
Project Number: 519
Drawn by: dm/rdb

Sheet Number

E1.4
Fixture Cut Sheets